



5. Character Areas

5 Character areas

Once the approximate layout of the buildings have been established, the finer detail of design is considered.

The appearance of the buildings will be appropriate and be balanced with use and setting. The buildings will have a consistent language to make sure the development knits together well however the various areas will also be distinct in character from each other.

These areas as follows:

5.1 District Centre

The District Centre will contain the food store, comparison retail units, the food and beverage, the car parking and petrol filling station along with the associated higher density residential accommodation as flats.

This area will be vibrant, have active frontages and good pedestrian activity.

5.2 West Langarth Residential

West Langarth Residential will contain housing and the pedestrian routes and linkages to the consented Langarth masterplan. The character of this area will be quieter than the district. The buildings form and appearance will match the housing of the consented Langarth masterplan with terrace housing, private gardens and safe streets.

5.3 Community Playing Pitches

This area has the majority of the public open spaces in the form of community playing pitches and associated sports facilities. This character of this area will generally be of large open spaces.

5.4 Woodlands & Wetlands Public Open Space

The additional public open space is in the form of woodland and more intimate public open spaces. Children's play areas and dog walking areas will be provided.

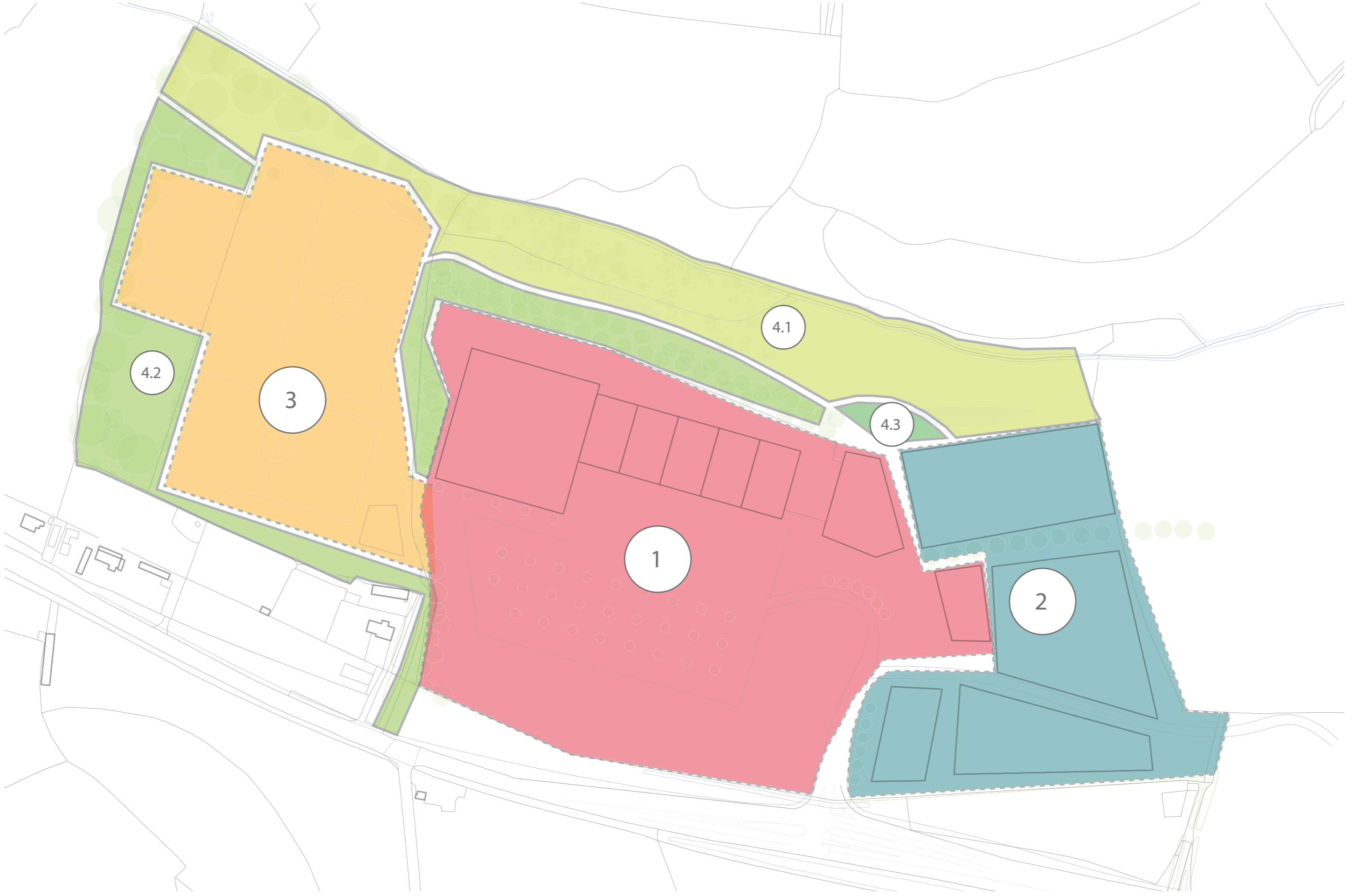
Key

- 1 District Centre
- 2 West Langarth Residential
- 3 Community Playing Pitches
- 4.1 Wet Woodland Corridor
- 4.2 Structural Landscape
- 4.3 Parkland

Images:

1. Indicative View of the District Centre
Opposite page: Character Areas 1:2000 @ A3





5.1. Character Area 1 - District Centre

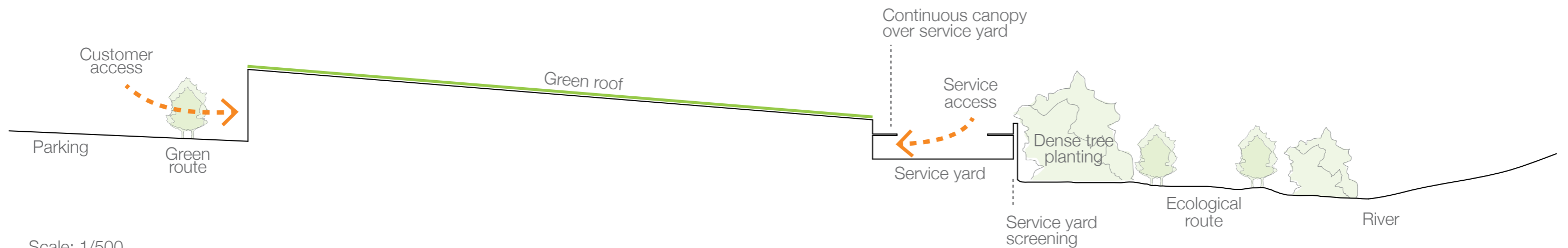
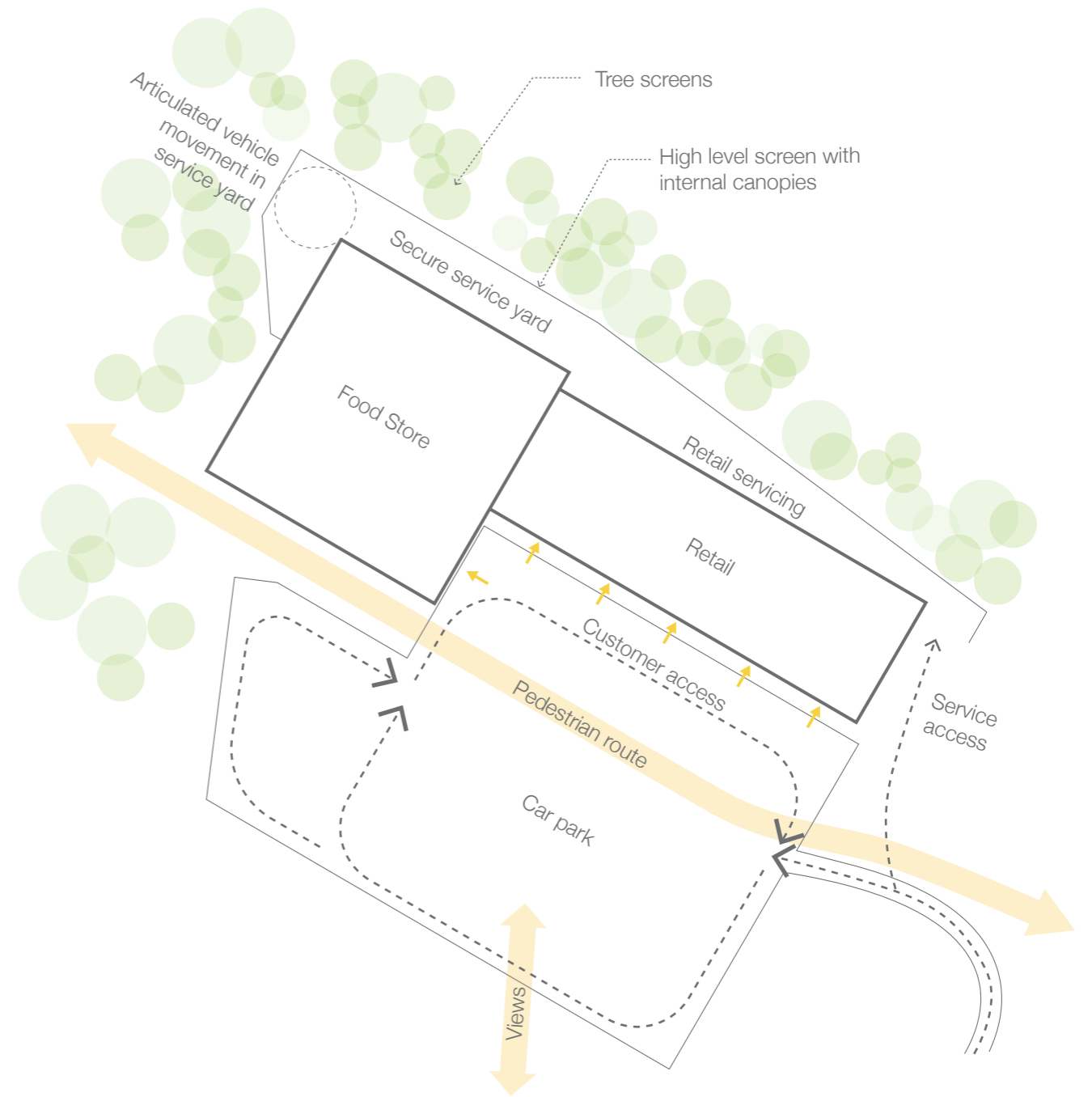
5.1.1. Food Store

Viewed from the entrance, the food store will be contemporary in appearance with areas of glazing to the frontage and modern detailing.

Due to the potential sensitivity of the proposals in the wider landscape, detailed consideration regarding the appearance of the rear of the building when viewed from the north will be required. Detailed computer modelling will be prepared to ensure the most appropriate design solution is used. The rear service yard will be heavily screened with full height panels that hide the service yard, minimize acoustic break out and reduce light spill to the surrounding area. In addition to the screening, extensive areas of tree planting will be provided in front of the building to the north and west elevations.

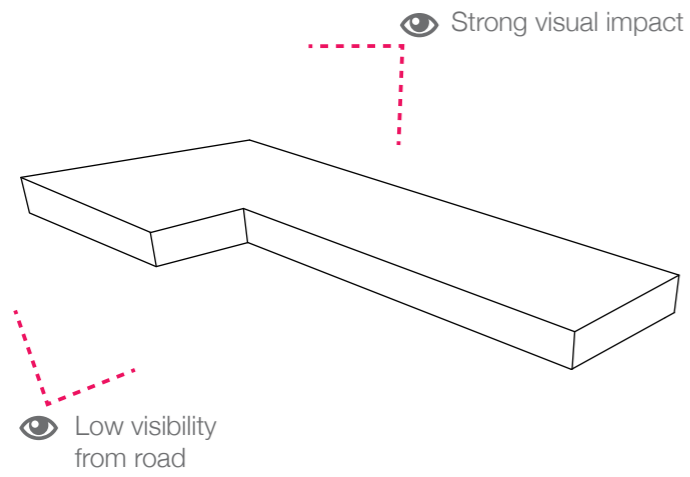
This 'green screen' will act as a landscape buffer and reduce the visual impact when viewing from the west and north.

The following diagrams indicate how the retail accommodation has been adapted to become more sensitive to the site.

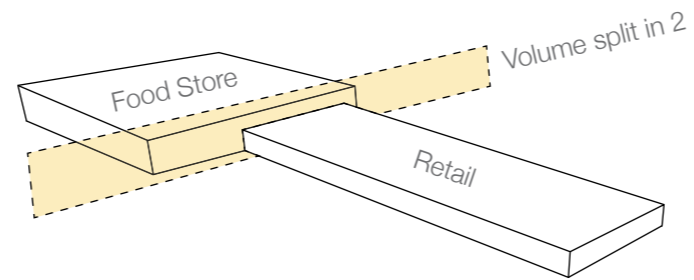


Scale: 1/500

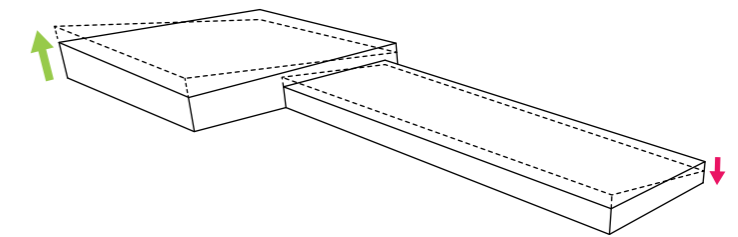
1 Basic massing of retail accommodation



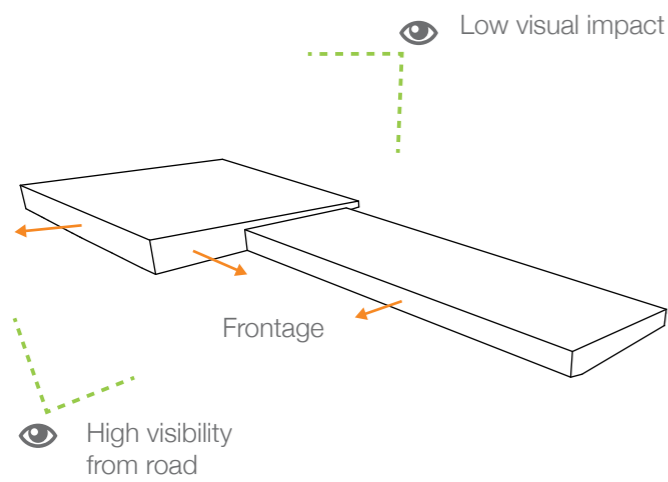
2 Split Volumes - Reduces massing



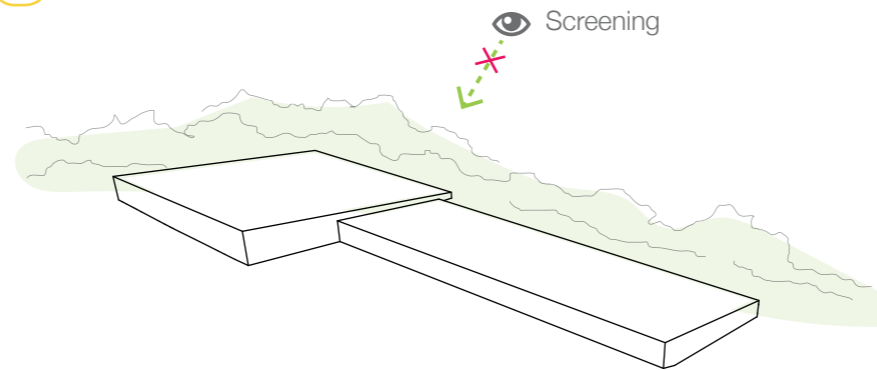
3 Roofs to match existing topography and increase impact on frontage



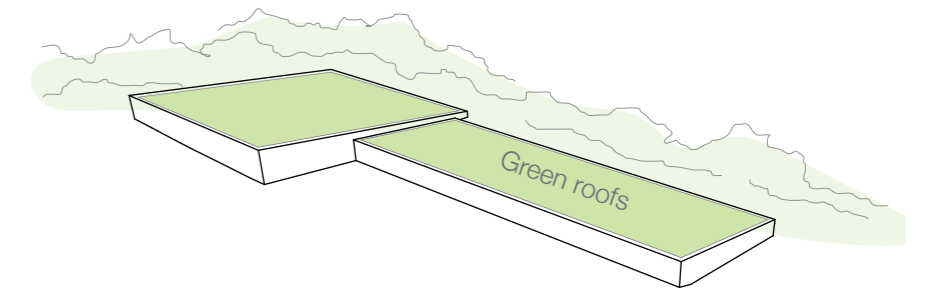
4 Resultant massing



5 Screening



6 Integration - Introduction of green roofs



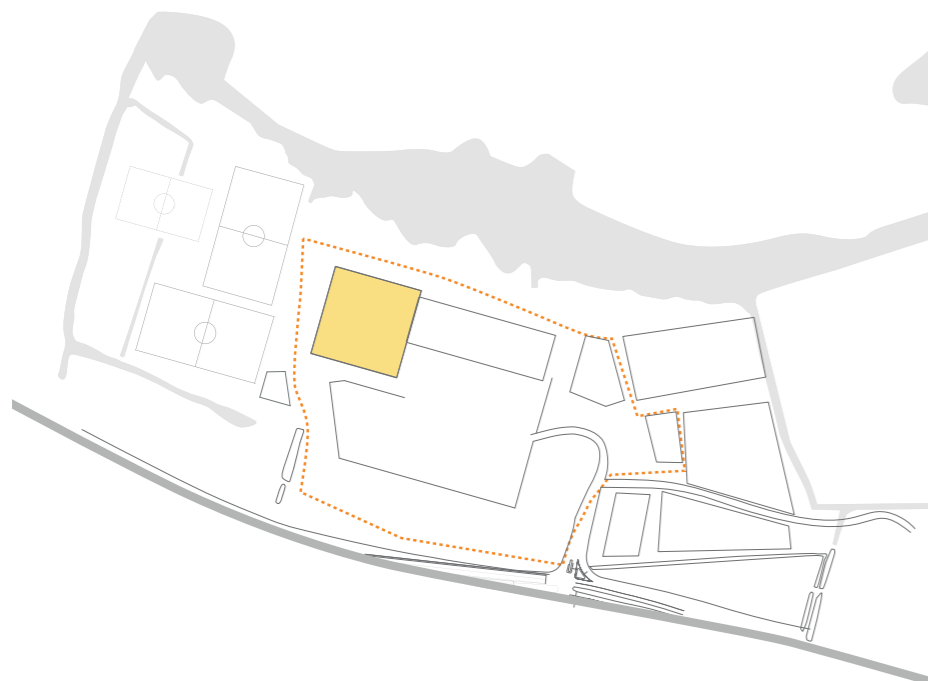
5.1. Character Area 1 - District Centre

5.1.1. Food Store

The roof of the food store will be of specific interest as it seen from the west and north. It is proposed that a green roof is used that minimises impact. The pitch of the roof will match the existing topography and fall towards the north. This will soften the impact on the landscape.

Because of the use of the buildings a specific scale is generated. The building uses are at ground floor and therefore the building is low. The overall building height will be 6-7 metres high.

Due to the nature of the site it is important that the materials are robust but also in keeping with the area and setting. A limited palette of materials will be used that sit well with the existing landscape and wider consented masterplan and Truro. Stone and render are proposed. In key areas glazing, appropriate metal cladding and timber are also proposed.



Material Palette



Facade

Render is proposed to create a contemporary aesthetic.



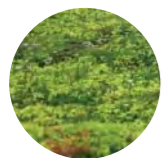
Facade

A robust material, such as stone is suggested.



Facade

Sleek glazing should be used for all store fronts.



Roof

A green roof is proposed for the roofs for integration with landscape.



Additional Materials



Facade

Metal cladding, such as Zinc, should be used to achieve a contemporary finish.



*Images:
Green roof
Examples of food stores
Opposite page: Indicative view of food store*

5.1. Character Area 1 - District Centre

5.1.2. Comparison Retail

The appearance of the adjoining comparison retail will be similar to the food store. The main variation will be the reduced scale. The height of these buildings are slightly lower than the food store to ensure an appropriate relationship of scale and hierarchy of uses is achieved.

The materials and architectural detailing will be similar to the food store.



Material Palette



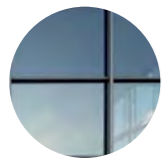
Facade

Render is proposed to create a contemporary aesthetic.



Facade

A robust material, such as stone is suggested.



Facade

Sleek glazing should be used for all store fronts.



Roof

A green roof is proposed for the roofs for integration with landscape.

Additional Materials



Facade

Metal cladding, such as Zinc, should be used to achieve a contemporary finish.



*Images:
Examples of comparison retail
Opposite page: Indicative view of the comparison retail*

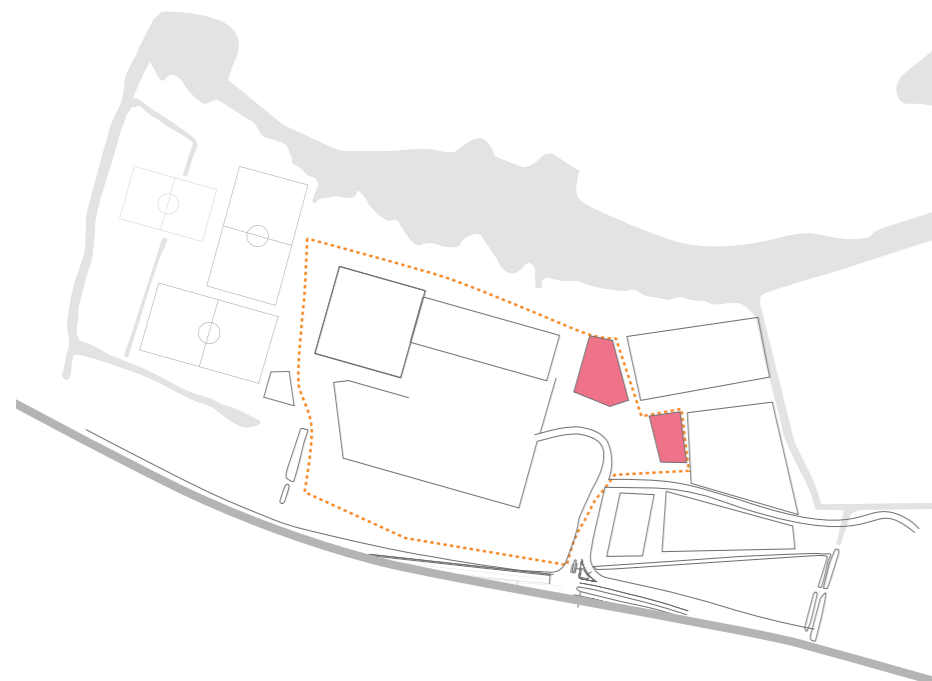
5.1. Character Area 1 - District Centre

5.1.3. Mixed Use

The design of the mixed use area, namely the food and beverage outlets at the heart of the district centre will be high quality with good frontages and with an attractive appearance. These proposed appearance will connect well with the food store and retail buildings. The food and beverage buildings may be part of a larger residential.

Stone and render are proposed. In key areas glazing, appropriate metal cladding and timber are also suggested.

The mixed use area will also provide space for a day nursery.



Material Palette



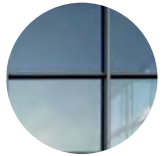
Facade

Render is proposed to create a contemporary aesthetic.



Facade

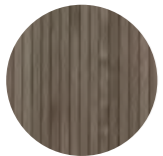
A robust material, such as stone is suggested.



Facade

Sleek glazing should be used for all store fronts.

Additional Materials



Facade

Timber cladding is suggested to create a softer aesthetic.



*Images:
Examples of food and beverage buildings
Opposite page: Indicative view of the mixed use area*

5.2. Character Area 2 - West Langarth Residential

As part of the West Langarth proposals a new residential neighbourhood is to be located to the east of the development forming a logical extension and connection to the adjacent consented Langarth mixed use community. The vision for this part of the residential neighbourhood is to create:

A Distinctive Place

Creating an environment that has its own sense of identity whilst retaining positive characteristics of the local environment. Making a place that people can understand and negotiate with ease. Creating a cohesive identity that is consistent with the architectural character established for the adjacent Langarth development.

Permeability

Creating sustainable connections within the development to the proposed district centre, open space and adjacent Langarth development and the wider area.

Sustainability

Encouraging walking and cycling and making public transport widely available. Designed to reduce resource consumption and promote the use of environmentally friendly materials.

Landscape Enhancement

Safeguarding and enhancing the existing landscape framework and mitigating the impact upon existing wildlife. Sustainable drainage designed to blend with the existing landscape features.

Masterplan Framework - Summary of Key Features

In summary the new residential neighbourhood will comprise:

A Green infrastructure approach providing a landscape corridor linking back into the Green Lane on the adjacent Langarth development.

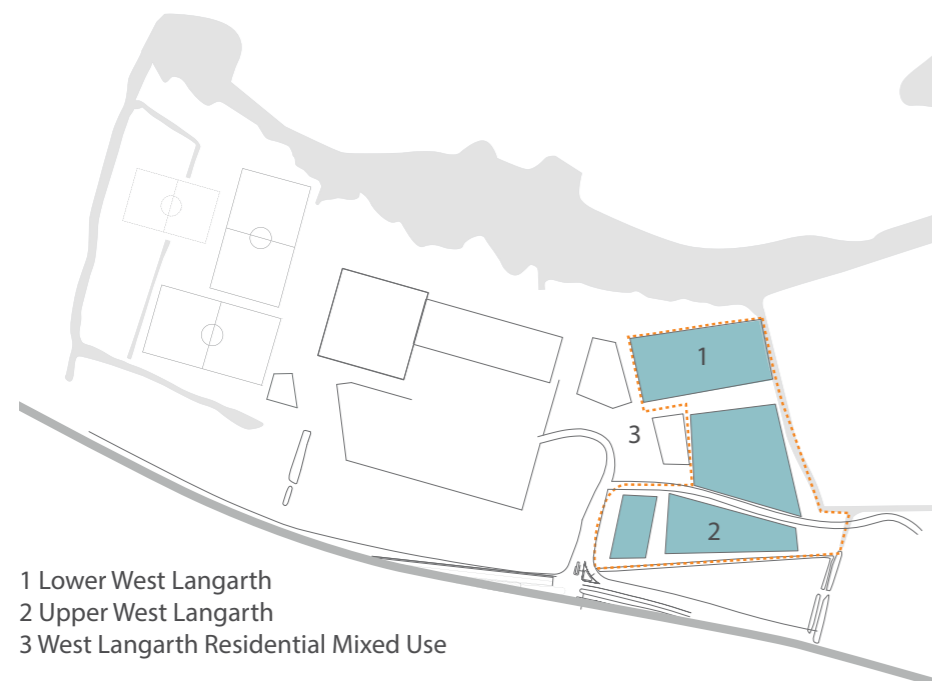
Housing parcels that work sensitively with the topography of the site with roads and development frontage aligned with the contours to retain and work with the natural topography of the site.

Active frontage to address the district centre and provide natural surveillance of this area.

A range of open space typologies including opportunities for integrated play including; activity trails and doorstep play, food growing and informal recreation. These functions will be incorporated with the green infrastructure link and the linear open space fronting the River Kenwyn.

A sustainable drainage strategy including multi-functional elements such as habitat enhancement.

A distinctive architectural character incorporating a Cornish aesthetic and where possible high quality locally sourced materials.



1 Lower West Langarth
2 Upper West Langarth
3 West Langarth Residential Mixed Use

Material Palette



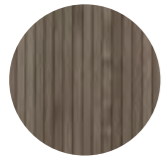
Facade

Render is proposed to create a contemporary aesthetic.



Facade

Stone is suggested to relate to the commercial aspects of the scheme.



Facade

Timber cladding is suggested to create a softer aesthetic.



Images:
Examples of residential buildings

5.2. Character Area 2 - West Langarth Residential

5.2.1. Movement Framework

The accompanying masterplan framework illustrates the development form and the movement strategy for the new residential neighbourhood. Key to the movement and access strategy are the following:

Access

The primary access for the residential neighbourhood is via the new access road to be formed off the A390 which also serves the district centre.

A secondary access is formed into the development from the eastern boundary by extending the existing core road typology on the adjacent Langarth development.

Street Hierarchy

A variety of street topologies are provided to aid legibility, permeability and character of the neighbourhood.

- Primary Street - Core Road
- Secondary Street – Minor Access Road
- Tertiary Streets - Lanes and private drives.

The criteria for each street are set out in the preceding street typology section of the document.

Permeability

Linkages are provided from the adjacent Langarth site with an extension of the Green Lane spine running east / west throughout the development and with the connection to the existing primary core road.

Pedestrian & cycle movement

The green lane provides a multi-functional space that will provide opportunities for pedestrian and cycle movement with a dedicated traffic free trail that will link through the entire development and back into the Langarth scheme.

Parking solutions

A variety of parking solutions will be incorporated within the development including, on-plot parking, integral garage, and frontage parking, on street, rear mews and a limited amount of courtyard parking. The aim is to select parking solutions that suit each respective character area, thereby reinforcing distinctiveness within the scheme and legibility. Due to the topographic constraints of the steeply sloping site the use of courtyard parking will not be practical in many areas, due to the amount of cut and fill and retaining works necessary. Therefore the preferred parking solutions for the majority of the scheme will be on-plot or on-street.

Key

	Core Road
	Street
	Lane
	Green Lane

Images:

Opposite page: Street Typologies 1:2000 @ A3



5.2. Character Area 2 - West Langarth Residential

5.2.3. Green Infrastructure

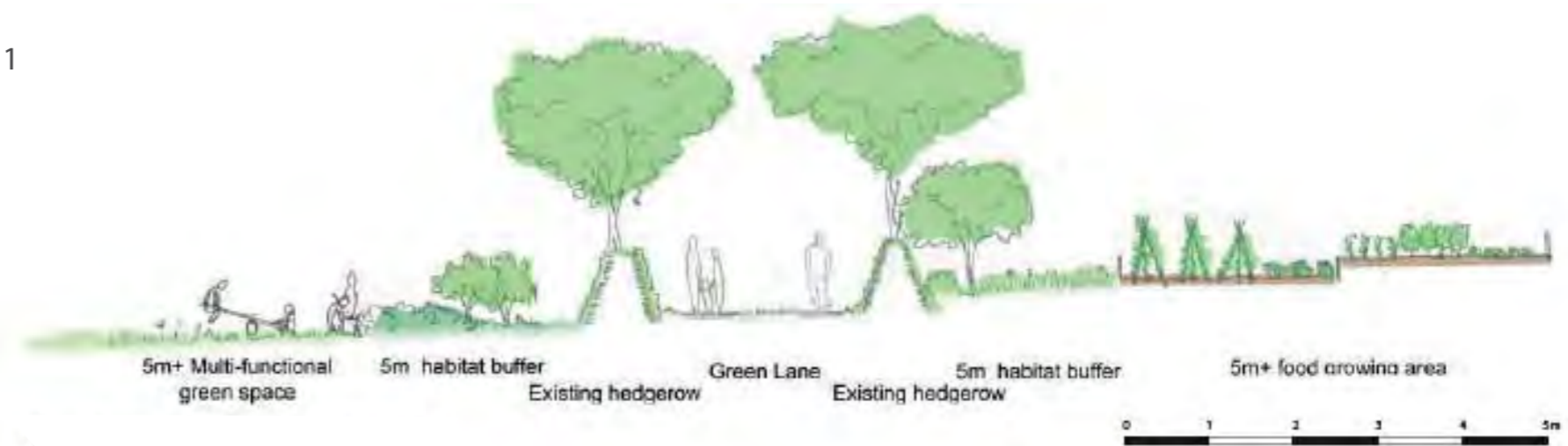
The Green Lane forms the main Green Infrastructure corridor running east west throughout the adjacent Langarth development. The design vision for West Langarth is to continue this green route as a spine that will create legibility, integration and linkage between the two neighbourhoods.

The Green Lane will function as an informal recreational cycle and pedestrian route. In places it may be enclosed by Cornish hedges to encourage its function as a wildlife corridor.

The other key elements of Green Infrastructure to be considered within the proposed scheme are the frontage to the River Kenwyn as a multi-functional stream corridor. The roles and functions performed by this corridor include:

- Biodiversity reservoirs, linkages and functions.
- Drainage corridors with potential for flood management and other hydrology functions.
- Landscape features and functions.
- Access functions.

1



2



Images:

1. Indicative section through the green lane, and hedgerows
 2. Indicative plan showing the green lane
- Opposite page: Indicative section through the Green Lane



KEY

- 1** Green Lane pedestrian link to Park & Ride and Local Centre
- 2** Retained hedgerows and Cornish hedge provide habitat for wildlife
- 3** Food growing areas
- 4** Cycle routes within street network
- 5** Car Club pick up point
- 6** Large windows giving views across valley
- 7** High level of insulation to roof and walls
- 8** Typical Cornish sunny south facing back garden
- 9** Compost bin and water butt
- 10** Rainwater dispersal into SUDS drainage system
- 11** Generous areas of south facing glazing to bedrooms and living rooms
- 12** Solar panels on south elevation

5.2. Character Area 2 - West Langarth Residential

5.2.4. Housing Types

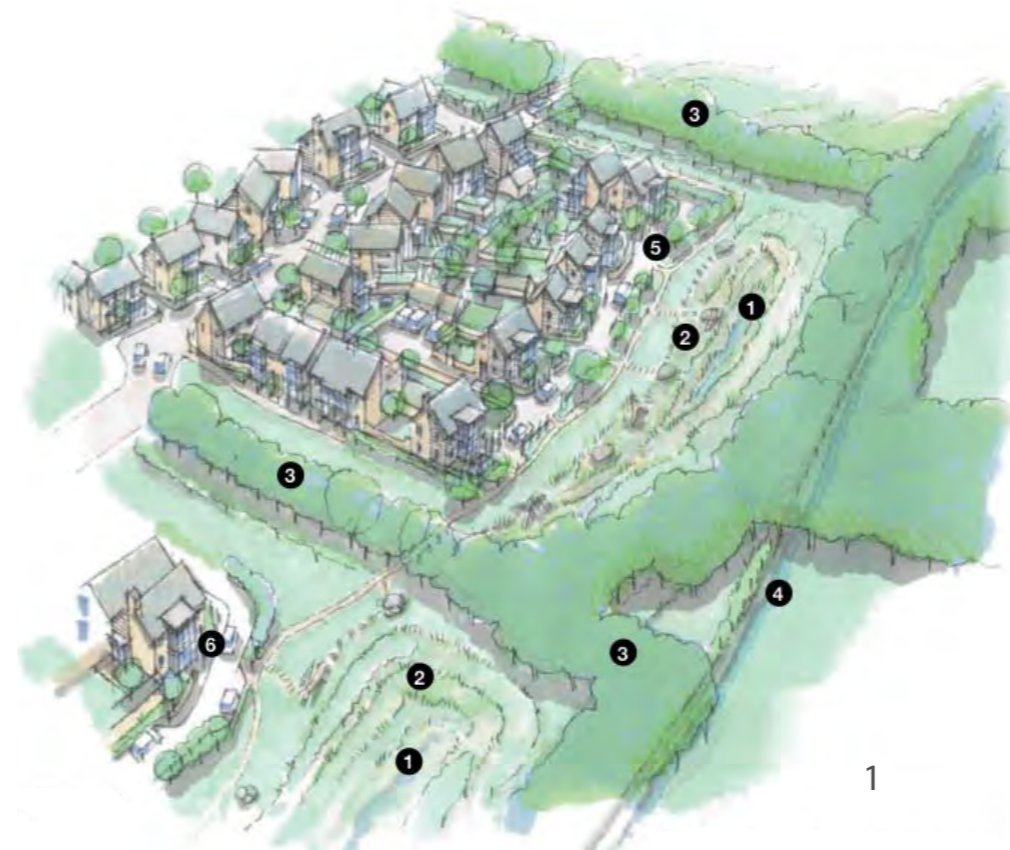
The architectural character areas embody the principles established on the adjacent Langarth development to help create a legible and distinctive place. There will be three principle character areas:

Lower West Langarth

The Lower West Langarth character follows the established characteristics of the Lower Langarth area on the adjacent development. The character area relates to the areas either side of the Green link and to the north leading down towards the River Kenwyn. The key design principles include:

- Traditional housing forms with double pitched roofs, domestic scale.
- Dwellings predominantly 2 to 2.5 stories in scale (where split level types are used dwellings may be 3 stories to the lower side).
- Private drives and lane character fronting River Kenwyn open space.

- A graduation in density from properties facing the green link which will have a higher level of enclosure to the linear space to a looser more informal form and density to the River Kenwyn frontage with detached and semi-detached properties.
- Generous front gardens to River Kenwyn frontage with hedgerow boundaries.
- A high level of enclosure and overlooking to the green link.
- Architectural character which embodies a distinctly Cornish aesthetic.
- A palette of materials that is locally distinctive and utilises some stone.
- Low levels of lighting to Green infrastructure either with unlit drives or bollard lighting.



KEY

- 1 SUDS swale
- 2 Bank of undergrowth and reeds
- 3 Retained trees and hedgerow
- 4 Existing watercourse
- 5 Shared surface drive with cycleway and footway
- 6 Large windows and bays give active frontage and views across valley



Images:

1. Indicative aerial view of Lower West Langarth
2. Precedent image of housing
3. Precedent image of housing
4. Street elevation along core road
5. Bay study of mixed use facade

Upper West Langarth

Similarly the Upper West Langarth character area follows the principles established on the adjacent Langarth scheme. The Upper Langarth area comprises the residential areas either side of the core road and northwards towards the green link. The key design principles include:

- Urban tree planting to define core route and provide structure.
- Urban character to core road frontage with high level of continuity of built frontage.
- Predominantly 2 to 3 storey properties, including split level houses.
- Tight urban frontage small front garden defined with low wall or railings.
- High quality public realm modern and urban character utilising locally distinctive materials
- Architectural character which embodies a distinctly Cornish aesthetic.
- A palette of materials which is local distinctive including some stone
- Higher density than Lower West Langarth



4

West Langarth Residential Mixed Use

The western edge of the residential neighbourhood includes the mixed uses of the district centre. The key features include:

- Ground floor mixed uses comprising A3,A4,A5 and D1 uses
- Residential uses to upper floors, predominantly in the form of flats.
- Active frontage overlooking the civic space.
- Creation of a civic space which will act as a focus and 'heart' for the various activities. Utilisation of the steep topography to create terracing to this space to work on multi levels.
- A high quality treatment of public realm incorporating a palette of distinctive Cornish materials.
- Building heights up to 4 stories.
- Architectural character to be a contemporary interpretation of a Cornish aesthetic, making use of locally distinctive materials.



5

5.2. Character Area 2 - West Langarth Residential

5.2.5. Amount and Scale

Amount

The accompanying parameters plan indicate the proposed areas for development. The West Langarth neighbourhood up to 130 residential units comprising:

- 2.5 ha of land providing for up to 90 dwellings and flats.
- Up to 40 residential flats located over the mixed use ground floor of the District Centre.

The resultant densities for the residential areas would be around 36 dwellings per hectare and up to 80 dwellings per hectare for the District Centre.

Building Scale Parameters

The parameters tables summarise the scale, setting out the maximum and minimum range of dimensions for width, depth and height of the proposed buildings, which together describe the potential built form of the development.

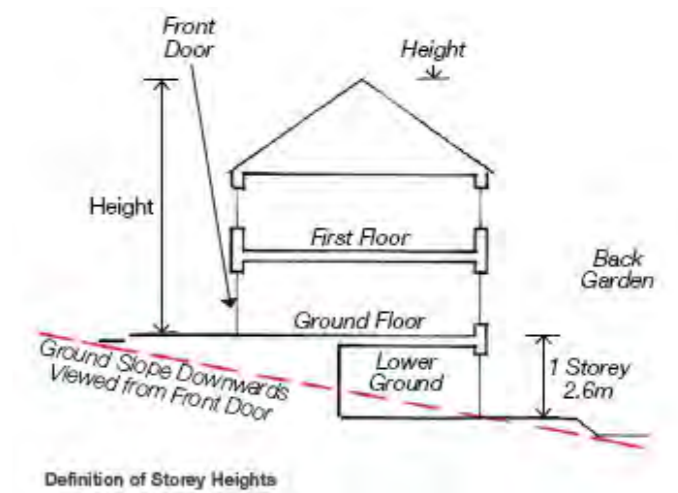
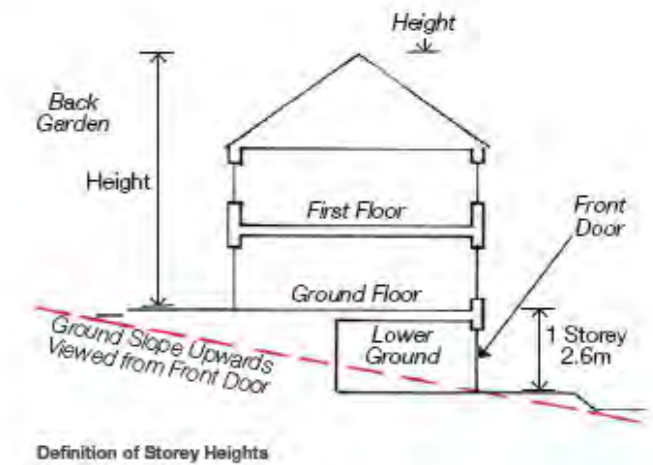
Where heights are given in the tables they are taken from the finished ground level adjacent to the ground floor of the building to the main ridge. Due to the steeply sloping nature of the site and the need to accommodate changes of level the height dimensions could increase or decrease by up to a single storey, either at the rear or the front of properties. This could be in the form of underbuild or a lower ground floor below the main floors.

	Size of Area (ha) / Floorspace GIA (sq. m)	Maximum height
Residential area (C3)	2.5 ha (accommodating up to 90 units)	10.5 metres (3 storeys)
Mixed use areas	929 sq. m	15 metres (4 storeys)
Food and Drink / Day Nursery (A3, A4, A5, D1)	0.5 ha (accommodating up to 40 units)	
Residential (C3)		

This is illustrated on the diagrammatic cross sections. The measurement of height for the purposes of simplicity should be from the ground floor on the 'upside' of the slope, the definition of the ground floor being the lowest floor that goes fully from front to back above ground.

Setting a maximum and minimum range of scales allows for a variety of building designs to be accommodated at Reserved Matters stage which is essential to suit the differing character areas and land uses.

The typical residential storey heights are measured to the main ridge (excluding minor projections such as chimneys) and are set out in the tables below.



Semi-detached Housing

	Minimum (m)	Maximum (m)
Width	5	23
Depth	6	12
Height	3	9

Town Houses

	Minimum (m)	Maximum (m)
Width	4	16
Depth	6	12
Height	4	10.5

Flat Over Garages

	Minimum (m)	Maximum (m)
Width	10	12
Depth	6.6	8.5
Height	5	7.5

Terraced Cottages

	Minimum (m)	Maximum (m)
Width	4.5	27
Depth	7.5	12
Height	3	9

Residential Flats

	Minimum (m)	Maximum (m)
Width	6	60
Depth	6	18
Height	6	16

Garages

	Minimum (m)	Maximum (m)
Width	3.3	6.6
Depth	6.6	13.2
Height	5	5.5

5.2.6. Topography

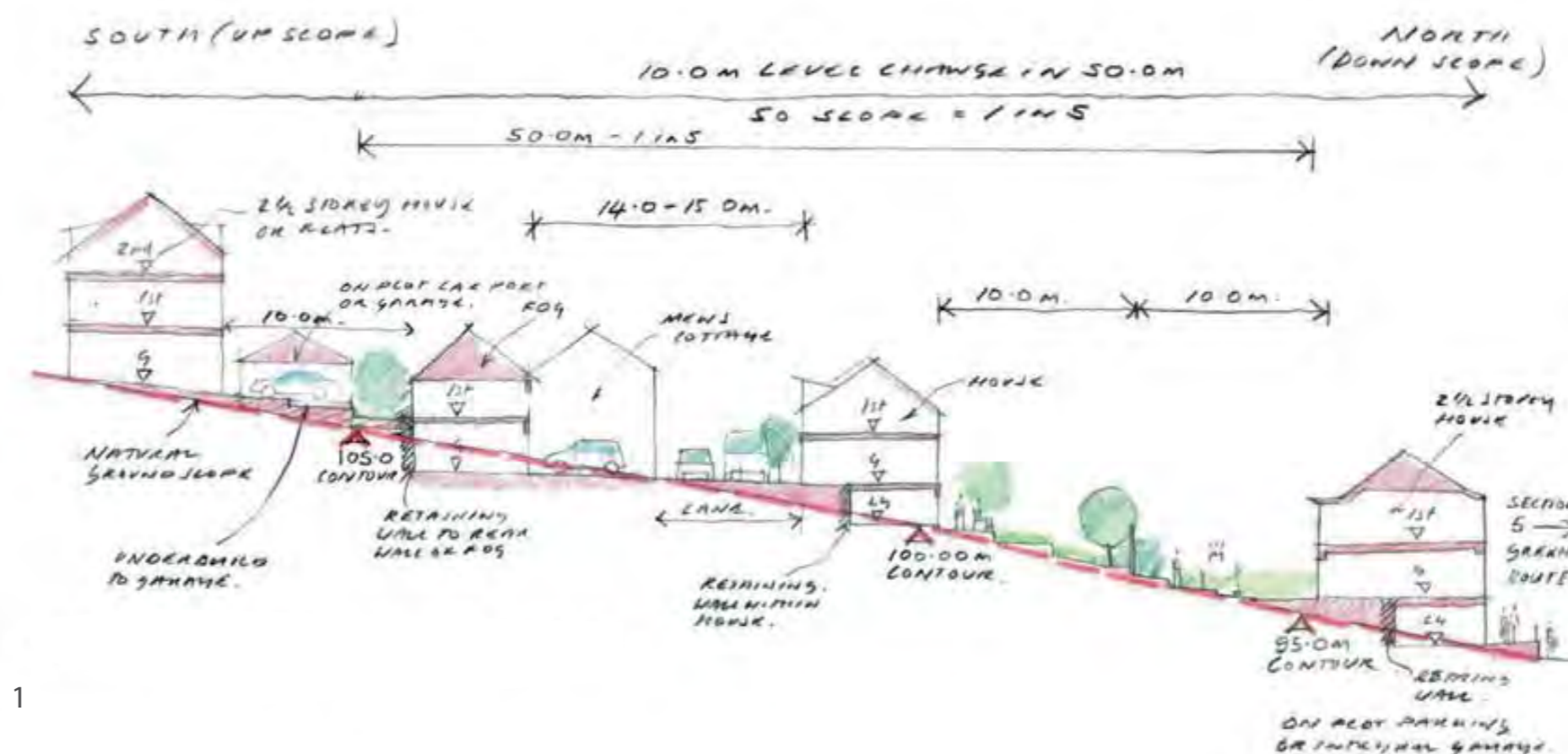
The varied and steeply sloping topography at West Langarth presents unique design constraints and opportunities which need to be addressed within a successful design. While parts of the site have a gentle fall, other areas have a significant cross fall of around 1 in 5, and require a design solution that resolves and integrates the requirements of inclusive access and amenity.

The design proposals for the residential neighbourhood work with the natural topography of the site (as far as practical) rather than resorting to significant ground remodelling to form development plateaus. The approach to working with the natural topography has the advantages of providing a development that:

- Is distinctive to its setting.
- Reduces transportation of fill to and from the site and associated costs.
- Reduces the need for large scale retaining structures and associated costs.
- Enables natural features such as trees and hedgerows to be better preserved.

Where there are significant level changes across perimeter blocks the proposal is to use a variety of design solutions to take out level changes. These include:

- Use of split level buildings.
- Use of several low level retaining structures within the gardens, (in preference to a single large retaining wall).
- Terraced or shallow gradients to gardens of a maximum 1:10.



1

Images:

1. Sectional study of housing arrangement on slope

5.2. Character Area 2 - West Langarth Residential

5.2.7. Residential Amenity and Streets

Residential Amenity

The site sits on a north facing slope which drops down to the River Kenwyn and thus the aspect provides several constraints and opportunities in terms of achieving high quality amenity for the residents.

Particular consideration needs to be given to buildings, public spaces and gardens which have a northern aspect in terms of:

- The use ability of external amenity space with regard to overshadowing.
- The amount of daylight within habitable rooms.
- The quality of public spaces where there is significant overshadowing.
- The type of landscape and planting.

The proposed scheme will address the above points in the detail at Reserved Matters Application to take account of the following:

- The scale of buildings and the impact of overshadowing.
- The use of longer gardens where north facing.
- The appropriate use of roof gardens in some higher density areas.
- The careful sizing of north facing window openings to maximise daylight, while balancing the requirement to conserve heat loss.
- The use of dual aspect spaces where appropriate that can have both a north and south aspect.
- The siting of non-habitable or secondary rooms on the northern aspect; i.e. bathrooms, kitchens, utility.
- Bedrooms to be orientated north facing in preference to living spaces.
- Meeting minimum daylight standards for habitable rooms.

Residential Streets

The proposals will create a high quality public realm with positive streetscape elements including:

Vegetation

Street trees will be used throughout in various forms including fruit trees and edible planting.

Services

Services are to be concealed where possible from public view with meter boxes and satellite dishes carefully positioned.

Street Furniture

Signage and other furniture are to be kept to a minimum in order to create legible streetscapes and reduce street clutter. No pedestrian barriers are to be used. Designs will seek to combine elements such as benches, lighting and bins, and to integrate seating with boundary structures.

Lighting

Site wide, the masterplan aims to avoid urban light pollution and disturbance of nocturnal wildlife by using low levels of lighting throughout. Lighting columns will be avoided in most residential areas, with the exception of some urban streets and public open spaces. Predominantly lighting will be achieved with the use of low-level bollards, in-surface lighting or architectural lights, all of which will illuminate foot ways without excessive light spill.

Doorstep Play

Shared surfaces, lack of on-street parking, broader areas of pavements and narrowing of carriageway to single lane in places are all used to create incidental play space outside homes. Homes will offer good overlooking of these spaces. Occasional playable features will be integrated throughout the streetscape such as playable benches, natural features such as boulders, low walls to walk along, or areas of pavement suitable for chalk drawing.

Materials

Throughout the site, the use of a simple palette will focus on the Cornish aesthetic. Where possible, locally sourced stone will be used for details including gravel, paving, walls and kerbs. Raised tables and shared surfaces are to use granite coloured block work. Contrasting materials (texture and colour) may be used to indicate changes in usage, such as crossings, public open space, cycle lanes or parking spaces. Pavements may be self-binding gravel in areas where usage permits.

SUDS

SUDS will be incorporated throughout the site, with many features being multi-functional or decorative. Planting beds may serve as SUDS features, attenuating and storing run-off.

Images:

Opposite page: Precedent images of housing



5.3. Character Area 3 - Community Playing Pitches

Sports Building

The sports building will sit in the landscape as a pavilion building. It is likely that this building will be distinctive in character and have an appearance that is in keeping with a traditional sports pavilion building.

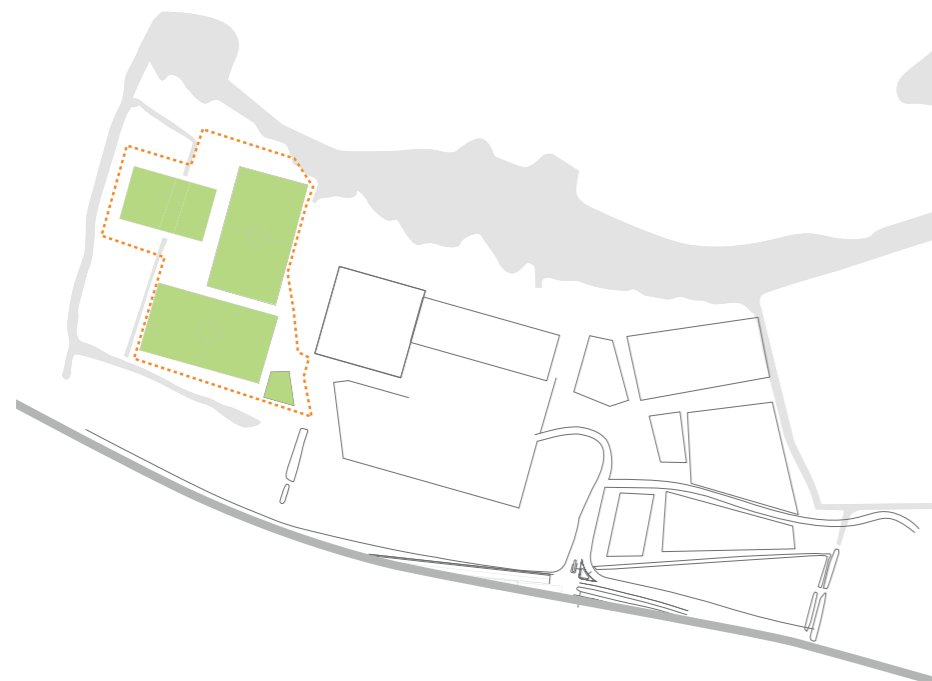
Sports Pitches

To the west of the site, two adult football pitches and a possible third junior pitch have been provided as part of the proposals, designed using FA and Sport England guidance. These will be carefully integrated into the landform, manipulating the slopes to minimise the need for retaining walls where possible.

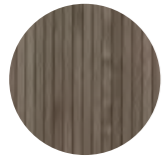
The changes in level between pitches will be sculpted into grassed seating steps, which will not only integrate sensitively into the landscape but also provide valuable viewing areas for spectators. A gabion retaining wall will be limited to the western edge of the pitch area, primarily to protect the root protection areas of the existing trees from the proposed changes in level.

An artificial turf football pitch is proposed in the southern half of the area, enabling frequent sports use throughout the year. This could also be potentially split into two smaller five-a-side pitches. There is also the potential for this pitch to be flood lit to extend its hours of use further. A sports / changing facility will be conveniently located adjacent.

A natural turf football pitch is proposed in the northern half of the area, with no flood lighting to limit light spill onto the adjacent woodland. All of the pitches are accessible through the development from a number of routes to north, east and south, designed to maximise pedestrian permeability.



Material Palette



Facade

Timber cladding is suggested to create a softer aesthetic.



*Images:
Examples of sports buildings and football pitches
Opposite page: Indicative view of the sports facilities*

5.4. Character Area 4 - Landscape

5.4.1. Wet Woodland Corridor

This zone stretches along the northern edge of the site at the lowest parts site, and encompasses an area of wet meadow and woodland noted for its ecological value.

The Green Infrastructure proposals seek to conserve these habitats, and where possible will enhance this with further ephemeral and wetland areas created as part of the site's sustainable drainage system (SUDS). The landscape treatment of these SUDS features will be designed to maximise biodiversity and to satisfy ecological objectives, with the use of wet grassland and aquatic planting where possible.

This corridor will also form an important pedestrian / cycle link which will span the length of the site, with potential links beyond to the consented Langarth scheme to the east. The routes will be sensitively integrated into the landscape and will form part an important spine of publicly accessible green space.





Images:

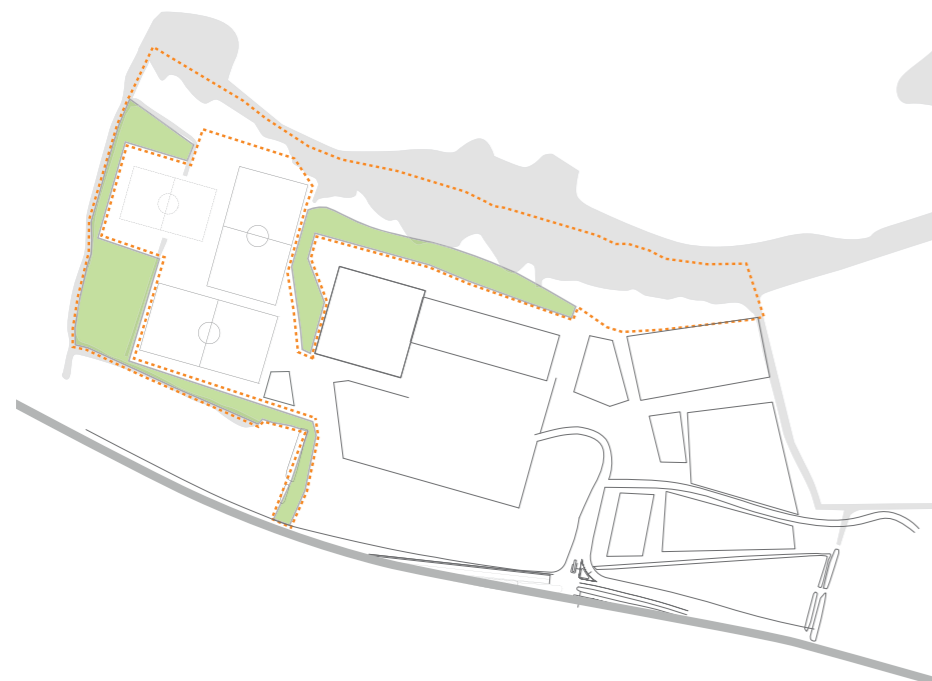
1. Existing view of wet meadow / woodland along the northern boundary
 2. Example wetland / SUDS features
 3. Example wetland / SUDS features within a housing development
- Opposite page: Indicative view of the landscape areas

5.4. Character Area 4 - Landscape

5.4.2. Structural Landscape

This zone will help assimilate and blend the built elements of the proposals into the landscape and its surroundings. The structural woodland planting will form a number of functions:

- To help visually screen the development from surrounding receptors to the north and west.
- To enhance the existing character where possible, reinforcing the landscape structure by strengthening existing hedgerows and trees.
- Provide habitat connectivity and enhance ecological biodiversity. The structural woodland planting to the north of the retail store has been carefully designed to help reduce light spill onto the existing woodland along the site boundary. The woodland planting to the west effectively forms a robust edge to the development and wider Langarth scheme.
- To mitigate for losses in habitat, which have been removed to facilitate the development.
- Forms part of a wider matrix of public amenity green space.





Images:

- 1. Existing view of hedgerows and trees
- 2. Example structural woodland planting
- 3. Example structural woodland planting

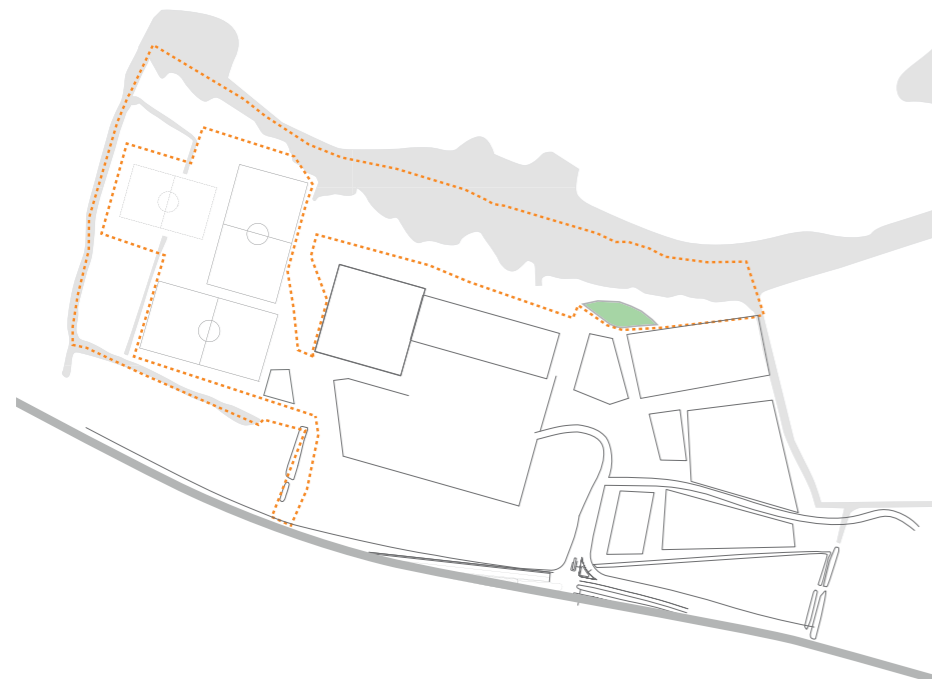
5.4. Character Area 4 - Landscape

5.4.3. Parkland

Amenity parkland has been located in the heart of the scheme for maximum accessibility to the new community, in both this scheme and the consented Langarth scheme to the east.

This area consists mainly of open amenity grassland and feature native bulb planting within a parkland setting of standard trees, framed by retained existing hedgerows and trees. Views will be available towards the opposite side of the valley.

A locally equipped area of play (LEAP) is located within this more formal amenity space, while providing suitable off-sets to adjacent properties as suggested in the Fields in Trust guidance. This space incorporates safe, accessible links, providing a range of experiences and activities along circular routes. It is located along the proposed 'Green Link' from the development, as well as to the meadow and woodland zone to the north.





Images:

- 1. Example public parkland*
- 2. Example public open space*
- 3. Example play area within a housing development*

5.5. Heights

Due to the majority of the proposed building uses on the site, specific building heights are required.

Food stores and comparison retail is generally always located at ground level. The heights of these buildings are typically between 5-9 metres. Due to the large floor area of these buildings these buildings tend to appear low in the landscape.

The food and beverage uses can be incorporated into mixed use buildings where apartments are located above ground level. This strategy will ensure there is increased activity and urban interest in this location around the district centre. These buildings will be three storeys and approximately 10.5 metres in height.

The housing towards the east of the site will match the housing of the consented masterplan and be 2-3 storey at around 9 - 10.5 metres in height (to the ridge), but as explained in chapter 5.2.5 this will depend on the topography.

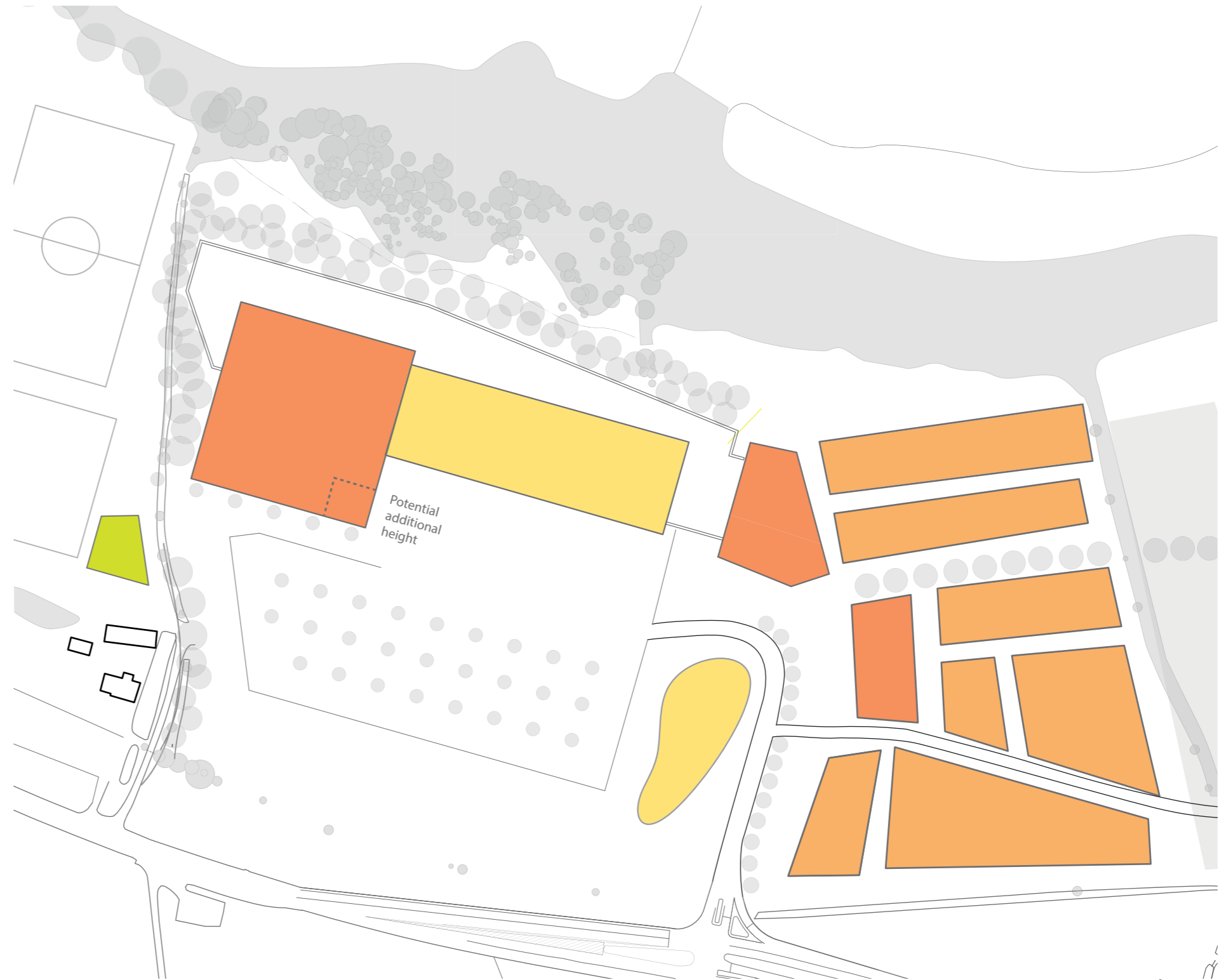
The sports facilities building will be a single storey structure.

The petrol filling station will be a single storey structure. The canopy over the pumps will be approximately six metres above ground level.

As the buildings generally have a consistent height across the site (there are no tall buildings), the overall urban form will generally follow the existing topography. Due to this architectural language, it is important that distinctive focus is added to the buildings in key locations. This may be in the form of additional height at the food store entrance for example.

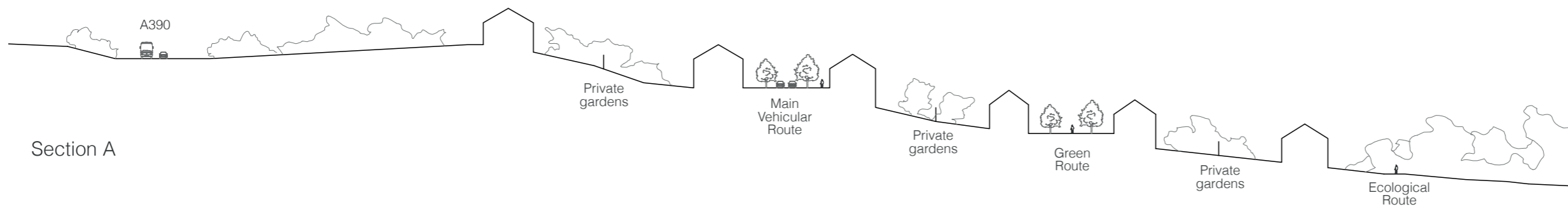
Approximate building heights (to ridge)

- community/ sports building 3-5 m
- retail, and petrol filling station 5-8 m
- housing 9-10.5m
- food store, mixed-use 7-9 m

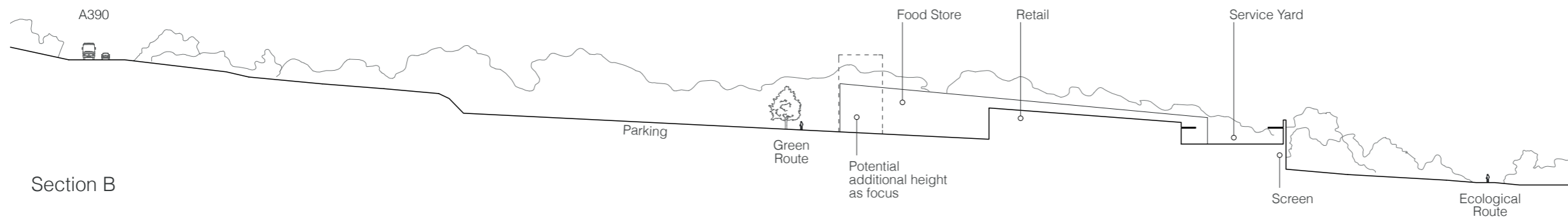
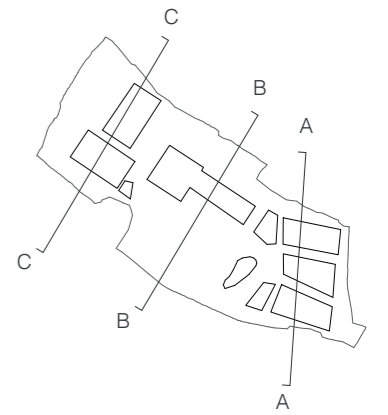


Images:

Building Heights 1:2000 @ A3
Opposite page: Indicative sections 1:1000 @ A3



Section A



Section B



Section C





6. Relationship to Consented Masterplan for Langarth

6. Relationship to Consented Masterplan for Langarth

As highlighted in the foreword of this planning application, the primary design concept for the site is the creation of a distinct district centre that relates strongly to the consented masterplan for Langarth.

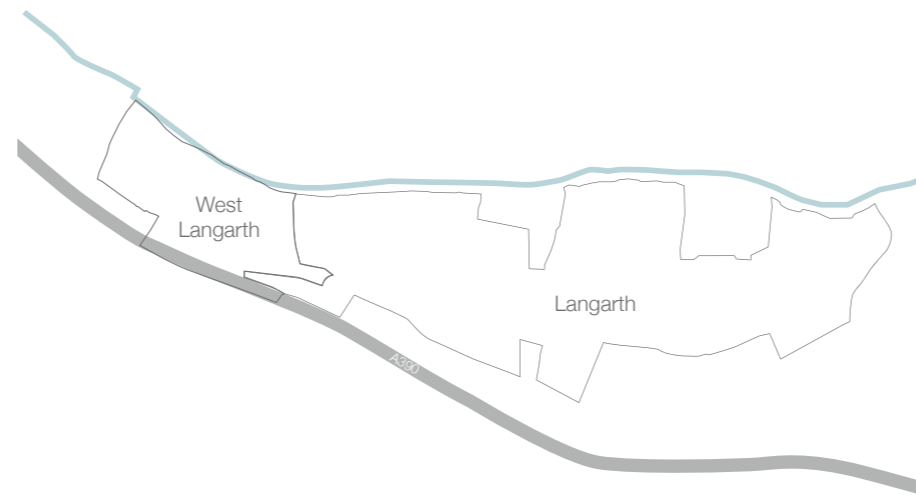
The principle move is to produce a 'dumbbell of development' parallel to the existing A390 that balances the new district centre with the consented stadium hub. These two hubs will be connected with strong links including the animated distributor road, enhanced and extended 'green routes' and the western extension of the agreed design scope for the residential accommodation to the consented masterplan.

The introduction of additional uses to the site that are economically viable help the realisation of the overall masterplan (including the stadium), significantly help the long term sustainability and promote attractiveness.

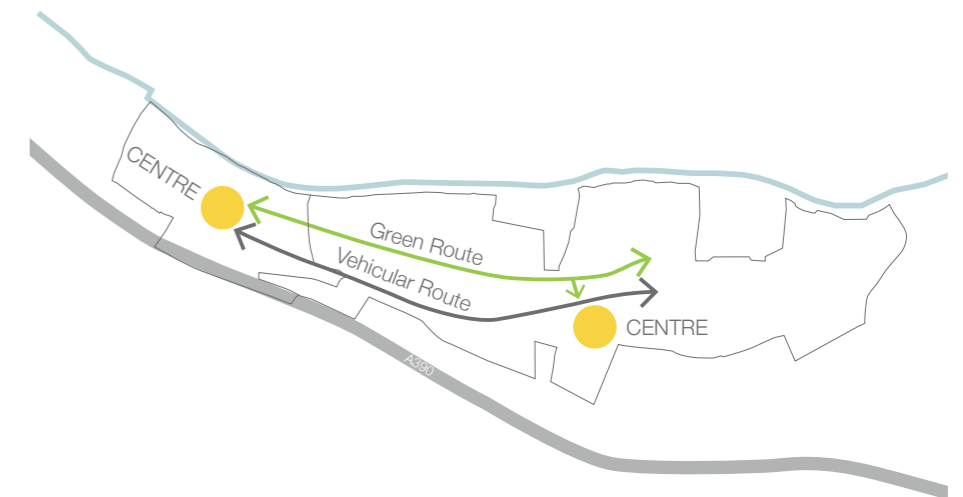
The resultant overall scheme will be vibrant, interesting and appropriate for the site and relate well to the wider masterplan and vision for the extension of Truro westward along the A390.

A variety of uses are proposed for the site. These do not conflict or compete with the consented scheme or the wider uses towards Truro. The introduction of a food store acts as an excellent generator of activity and helps commercial interest. The associated food and beverage uses will complement the retail offer and be attractive to residents of the consented Langarth residential development and wider community towards Truro.

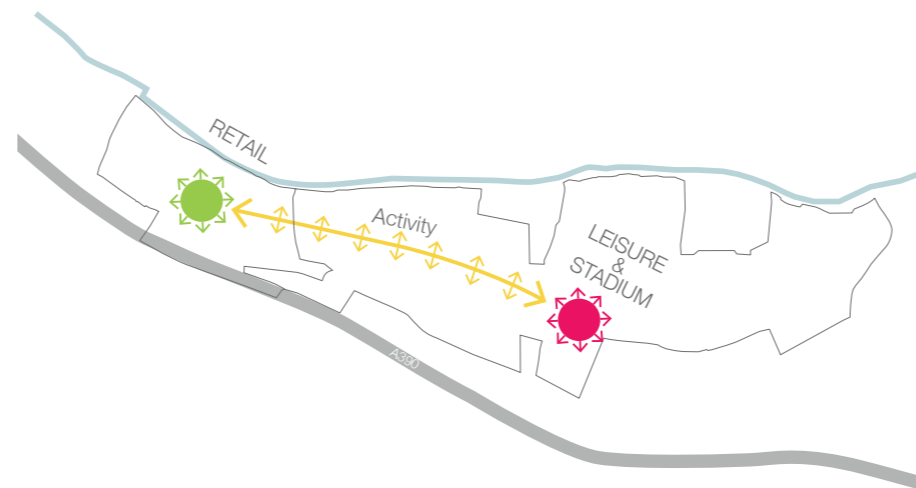
1. Relationship to Langarth



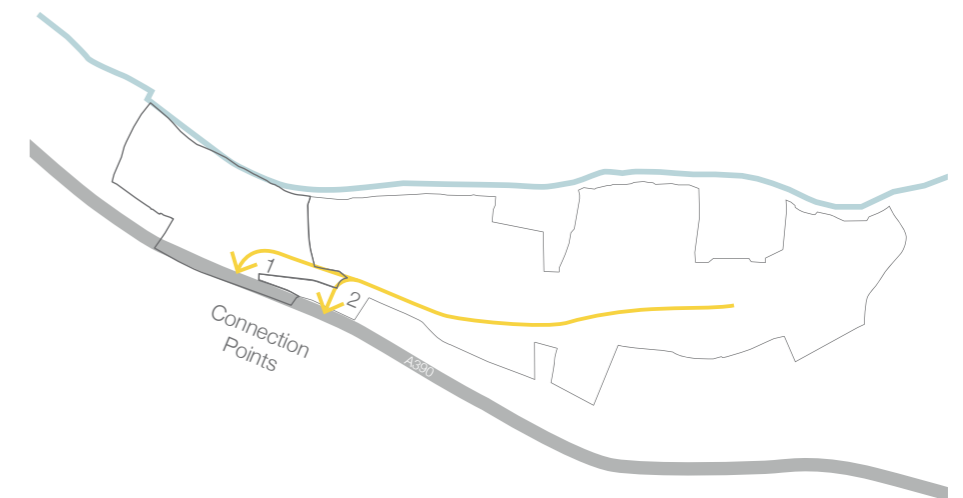
3. Connectivity to Langarth Masterplan



2. Focuses of Activity



4. Vehicular Connection Points to A390





Site

Threemilestone
Masterplan



6. Relationship to Masterplan for Langarth

The provision of the food store ensures the delivery of the stadium. This strategy underpins this application. As it is necessary to ensure the commercial viability delivers the stadium, a careful balance has to be struck between providing a suitable capital return for the realisation of the stadium and the subsequent impact on the design and layout of the district centre.

By undertaking a logical and ruthless approach to design that ensures that an efficient, flexible and attractive scheme is provided for retailers, a maximum return is ensured for the stadium. This strategy also ensures that funds are not wasted on project costs that do not add value to viability, layout and attractiveness of mix use district centre.

The buildings and infrastructure have been adapted and arranged to ensure that this strategy of ensuring viability is maintained.

By ensuring all activity is concentrated to one location, value is added to scheme and the quality of the development is optimised. By ensuring all frontages are linked and these frontages have a strong and logical relationship to the residential provision and pedestrian routes this enhances viability also.

There are some significant challenges for the site. The primary design challenges include the topography and visual impact within the landscape.


Within this document the strategy to overcome these challenges is explained and resolved at a broad level. However as the detailed layout is developed, the design strategy will adopt the finer strategies to ensure an attractive and refined scheme is delivered. By ensuring a ruthless layout that promotes value and attractiveness is provided, a commercially successful scheme will be provided.

The architectural language that is proposed in Tetlow King's Design Code (Revision K 26th April 2013) will inform the detailed layout of the application. This process will ensure a coherent and integrated development is delivered for the site. The landscape strategy, architectural detailing, materials and scale will be considered and appropriate to setting.

In addition to the retail, food and beverage and residential accommodation for the application a significant aspect is the provision of the public open space. The provision of usable and attractive public open space is crucial to successful and sustainable development.

A number of uses are proposed for the public open space including football pitches, children's play areas and woodland areas. These areas will be used by residents of the wider consented masterplan and have good connections and easy access through the site.

Key

-  Stadium
-  Food Store
-  Comparison Retail
-  Mixed Use
-  Green Areas
-  Residential
-  School
-  Hotel

Images:

Opposite page: West Langarth and Langarth Masterplan 1:5000 @ A3





P.O.S.

6. Relationship to Masterplan for Langarth

This diagram indicates how the architectural form of the consented Langarth masterplan extends west towards the new district centre. This strategy ensures the integration of the sites.

The consented landscape buffer strip is replaced with public open space that connects the residential areas.

This diagram indicates the routes that extend from the consented Langarth masterplan towards the district centre. The northern route follows the valley and is a continuation of the soft landscaping. This area will be ecologically diverse.

The pedestrian green route runs south of the ecological route. The location and orientation of this route has been established from the existing hedgerows of the consented Langarth masterplan. This route will encourage more sustainable and healthy activities for the residents of the wider masterplan.

The main vehicular access road that connects the sites runs from the consented masterplan below the green route. The architectural language that has been established in the consented design code will be adopted in this location and connect directly to the district centre.

The southern most route is the existing A390 that runs parallel with the other routes of the consented and application sites.



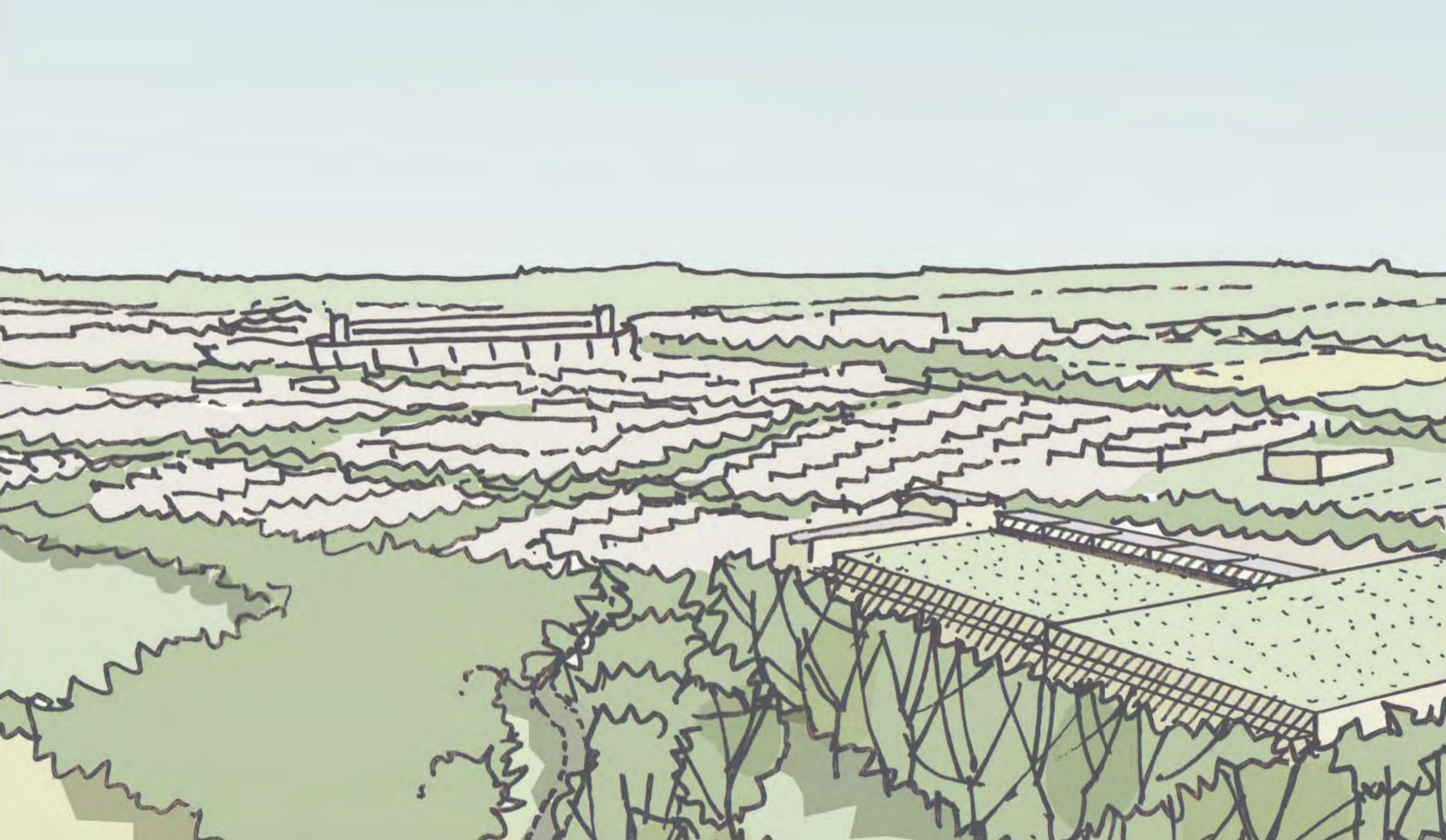
Images:
Diagrams showing the relationship to Langarth
Opposite page: Facilities Plan 1:5000 @ A3





Key

-  Food Store
-  Food and Beverage
-  Retail
-  Hotel
-  Business
-  Office
-  Stadium
-  Sports facilities
-  Care Home
-  School
-  Parking
-  District Centre





7. Summary

7. Summary

The scheme has been developed holistically, considering impact on landscape and public amenity along with the relationship and connectivity to the consented Langarth masterplan and new stadium.

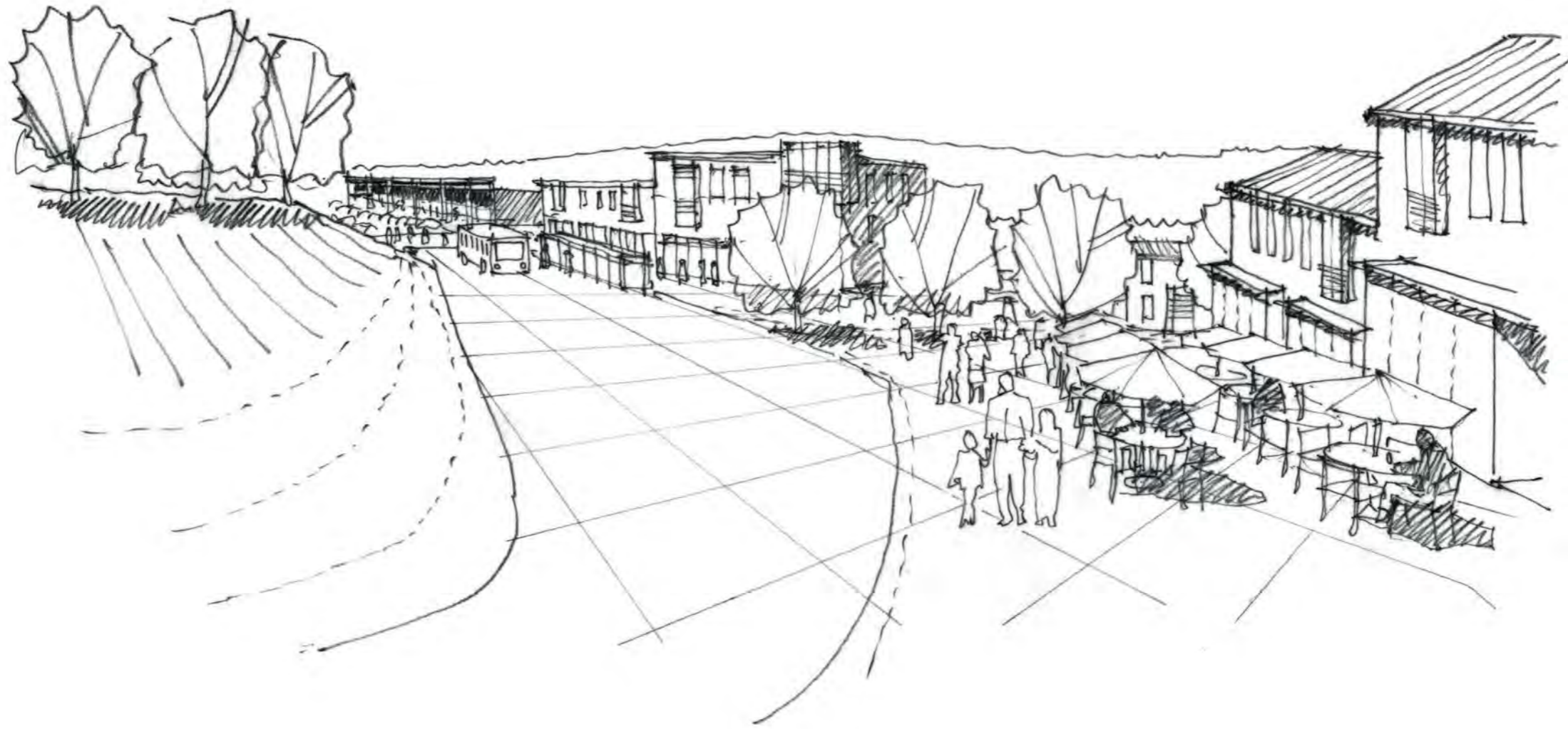
The proposals will provide the following experience:

1. A well connected and accessible district centre for the community
2. A sense of place
3. A mix of uses that balance and enhance the uses within the wider masterplan
4. A variety of different types of linkages
5. A strong physical and use connection to the stadium with additional sport and leisure facilities
6. A sensitive landscape strategy that knits the wider countryside to the district centre
7. High quality housing that continues the language and typology of the wider masterplan
8. Sustainable design

The mix of uses create a distinctive sense of place which has regard to its setting and creates a built form which is appropriate, attracts visitors and the supports the needs of the community.

The main buildings are centred as a cluster. This strategy is good urban design practice and will promote interest and improve activity of the public realm at the heart of the district centre.

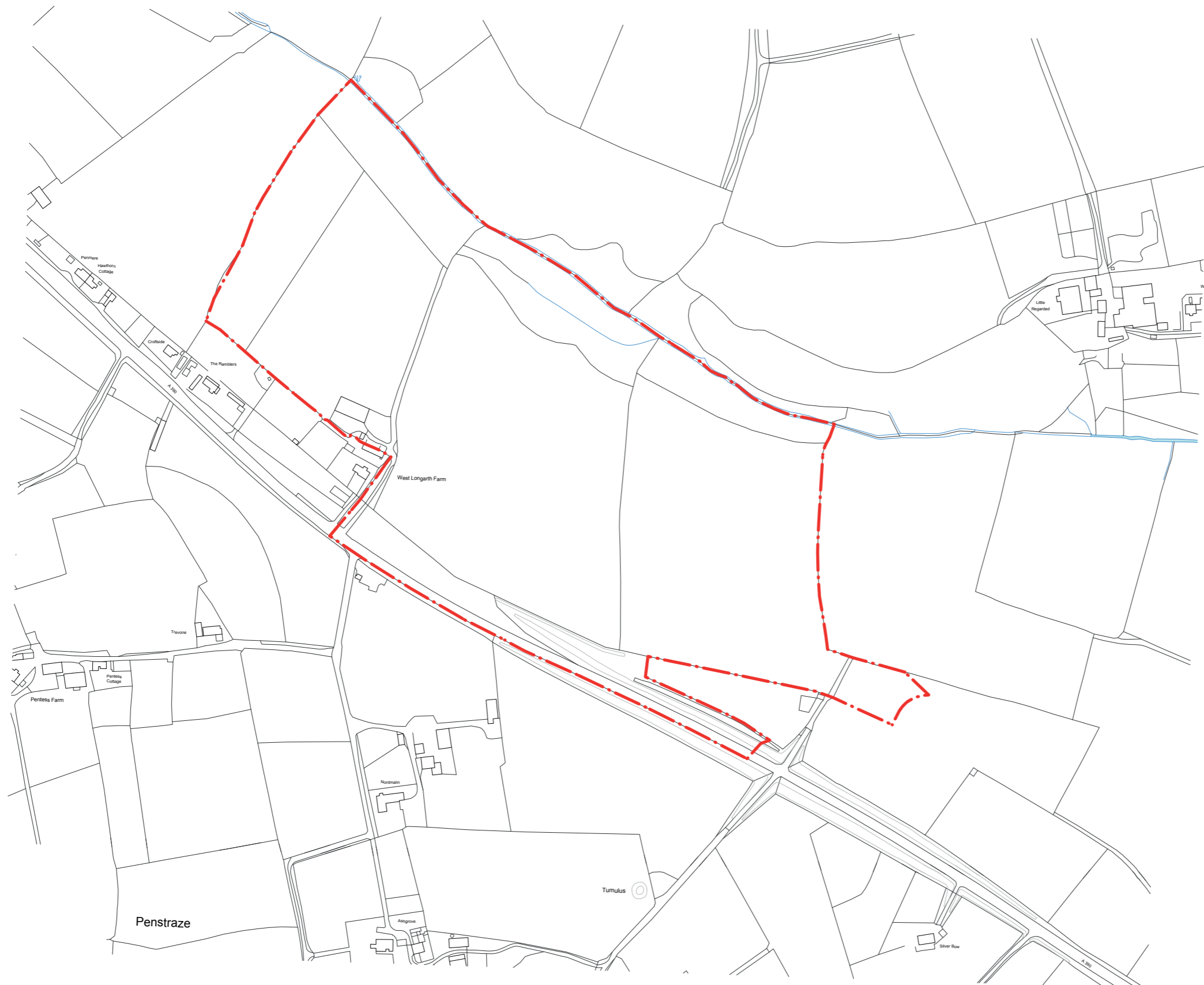
The delivery of the new district centre will help the realisation of the stadium. The overall proposal will create a truly mixed use and sustainable masterplan for the new residents and wider community in and around Truro.







8. Appendix



Notes

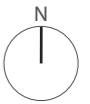
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— Site boundary

Boundary line amended NS 18/08 2014 A

First Issue SC 04/08 2014 -

Notes DR CH Date Rev

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Project
**West Langarth
Threemilestone
Truro**

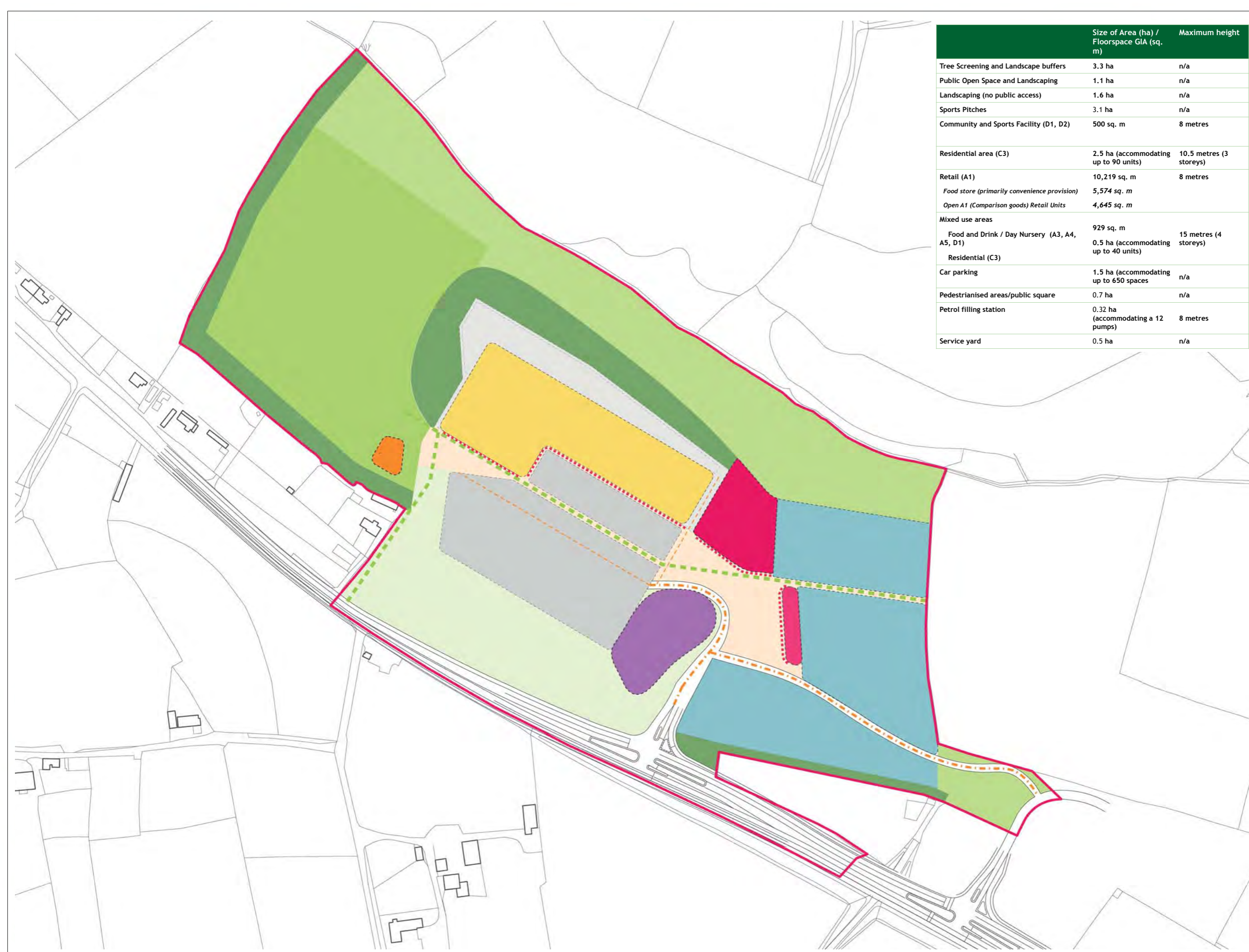
Drawing
Location Plan

Drawing number
1111/009

Scale
1:2000@A1

Revision number
A

Original drawing size A1



	Size of Area (ha) / Floorspace GIA (sq. m)	Maximum height
Tree Screening and Landscape buffers	3.3 ha	n/a
Public Open Space and Landscaping	1.1 ha	n/a
Landscaping (no public access)	1.6 ha	n/a
Sports Pitches	3.1 ha	n/a
Community and Sports Facility (D1, D2)	500 sq. m	8 metres
Residential area (C3)	2.5 ha (accommodating up to 90 units)	10.5 metres (3 storeys)
Retail (A1)	10,219 sq. m	8 metres
Food store (primarily convenience provision)	5,574 sq. m	
Open A1 (Comparison goods) Retail Units	4,645 sq. m	
Mixed use areas		
Food and Drink / Day Nursery (A3, A4, A5, D1)	929 sq. m	15 metres (4 storeys)
Residential (C3)	0.5 ha (accommodating up to 40 units)	
Car parking	1.5 ha (accommodating up to 650 spaces)	n/a
Pedestrianised areas/public square	0.7 ha	n/a
Petrol filling station	0.32 ha (accommodating a 12 pumps)	8 metres
Service yard	0.5 ha	n/a

Notes
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- N
- Tree screening/landscape buffer
- Public open space and landscaping
- Sports pitches
- Landscaping (not public access)
- Community and sports building (D1/ D2)
- Residential (C3)
- Retail (A1)
- Mixed use (A3/ A4/ A5/ C3/ D1)
- Car parking
- Pedestrianised areas / public square
- Petrol Filling Station
- Service yard
- Primary pedestrian 'green' routes
- Primary new spine road (vehicles)
- Secondary service road (vehicles)
- Active frontage
- Site boundary

Red line and road amended	NS	19/08/	B
		2014	
Updated	SC	28/07	A
		2014	
First Issue	SC	23/07	-
		2014	
Notes	DR	CH	Date Rev



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Project
**West Langarth
 Threemilestone
 Truro**

Drawing
Parameters Plan

Drawing number
1111/010

Scale
1:2500 @ A3

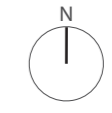
Revision number
B

Original drawing size A1



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Amended boundary and road	NS	20/08	A
First Issue		15/08	2014
Notes	DR CH	Date	Rev



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Project
**West Langarth
 Threemilestone
 Truro**

Drawing
**Illustrative
 Masterplan**

Drawing number
1111/100

Scale
1:2500 @ A3

Revision number
A

Original drawing size A3

Area Schedule

	Size of Area (ha) / Floorspace GIA (sq. m)	Maximum height
Tree Screening and Landscape buffers	3.3 ha	n/a
Public Open Space and Landscaping	1.1 ha	n/a
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